



Developers: VNS Associates



Site: The Nest
30 Mt. Vadsar Village Road,
Opp. Billabong School, Vadsar, Vadodara.



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Architect: Ruchir Sheth





— LIFESTYLE AMENITIES —

- | | |
|---|--|
|  Clubhouse |  Landscaped Garden |
|  Gazebo |  Multi-purpose Hall |
|  Gymnasium |  Children's Play area |
|  Yoga Deck | |

— COMMON AMENITIES —

- | | |
|--|--|
|  Power backup for common area |  Allotted Car Parking |
|  CCTV camera in common area |  Fire Safety System |



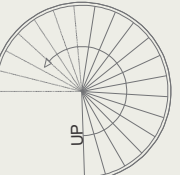
A decorative graphic featuring several musical staves with notes and a large central circle containing the text "LAYOUT PLAN". The design is in a light beige color on a white background. The musical staves are arranged in a curved, overlapping manner, with some staves having notes. The central circle is white with a thin beige border. The text "LAYOUT PLAN" is centered within the circle in a bold, sans-serif font.[illegible]

15 m Road

PAGE NO: 7

GROUND
FLOOR
TOWER
A+B





TYPICAL
FLOOR
(2nd TO 11th)
FLOOR)
TOWER
A+B



SPECIFICATIONS

STRUCTURE:

RCC finish structure designed as per Indian Standard Code for safety aspects.

FLOORING:

- Double charged vitrified tiles flooring with skirting and epoxy grout as per detail.
- Branded anti-skid ceramic tiles in bathrooms for flooring and dado with epoxy grout as per detail.
- Heavy duty parking Kota tiles in common parking area with RCC approach road.

TERRACE:

Double waterproofing with china mosaic flooring on top to ensure reduction in heat transfer.

WALL FINISH & PAINTS:

- Smooth finish internal plaster.
- External surface finished in double coat mala plaster with premium quality Texture & Paint
- Internal Putty finish with primer and outside premium Ace paint of superior quality.

KITCHEN/STORE:

Heavy duty ceramic slab as platform top with sink and designer glazed tiles dado.

ELECTRIFICATION:

- Concealed copper wiring (ISI grade) & decorative modular switches.
- TV points in master bedroom and living room as per detail.
- Sufficient electric points in all rooms as per architect's details.

BATHROOMS & TOILETS:

- Designer bathroom with concealed piping and premium fittings of Jaquar or equivalent.
- Geyser provided in all bathrooms.

DOORS & WINDOWS:

- Decorative main door
- All internal Modular doors with laminate on both sides
- Heavy section aluminium sliding windows with an extra track for mosquito net.
- Safety grill in all windows

Near by Location / Attractions

International School		Multi speciality Hospitals		Super Market	
Billabong High International School	: 0.7 km	Unity Multi speciality Hospital	: 1.5 km	EVA Mall	: 3.5 km
Delhi Public School	: 1.5 km	Welcare Multi speciality Hospital	: 2.5 km	Dmart	: 3.5 km
Gujarat Public School	: 2.5 km	Bankers Superspeciality Hospital	: 3.5 km	Reliance Smart	: 2.5 km
Tree House	: 4.0 km	BAPS Hospital	: 3.0 km	Railway Station	: 7.5 km
				Delhi - Mumbai Expressway	: 8.0 km
				National Highway	: 6.0 km
				Makarpura GIDC	: 1.5 km

* All distances are approximate.

Disclaimer: The developers reserve the right to change / alter the brands specified above, subject to its availability to an equivalent and competitive product.



DEVELOPERS: VNS Associates | ARCHITECTS: DESIGN STUDIO architects & interiors | STRUCTURAL CONSULTANT: ZARNA ASSOCIATES

Payment Schedule:
Residential: 10% Booking | 20% 15 days from date of Booking | 10% Plinth Level | 07% 1st Floor Slab Level | 07% 3rd Floor Slab Level | 07% 5th Floor Slab Level | 07% 7th Floor Slab Level | 07% 9th Floor Slab Level | 07% 11th Floor Slab Level | 8% Masonary | 5% Plaster level | 5% Finishing Level

Commercial: 30% Booking | 15% Plinth Level | 20% Slab | 10% Masonary | 10% Plaster | 10% Flooring | 5% Finishing Level

Terms and Condition: 1) Additional charges such as stamp duty, registration fees, GST, MGVL connection, legal documents, municipal expenses and other expenditure as per any new bylaws is to be borne by the buyer. 2) Changes/alteration of any nature including the elevation, exterior colour scheme or any other changes affecting the over all design concept & outlook of the scheme strictly not permitted. 3) Extra work shall be allowed only with prior written agreement and carried out after receiving full payment In advance. 4) In case of delayed payment 12% interest will be charged & continuous default payments lead to cancellation. 5) In case of cancellation of booking the refundable amount shall be given only when the same property is booked and paid by the new purchaser. Administration charges of Rs. 20,000 and the amount of extra work done (if any) shall be deducted from the refund. 6) Possession of the property will be given after one month of settlement of all accounts. Religious celebration will not be allowed In case of incomplete payment. 7)The developers reserve the full right to alter design, plans or specifications where required or deemed necessary without any intimation or reason. 8) Any design, specification or information in this brochure can not form part of an offer. contract or agreement. 9) Maintenance deposit at the time of Possession.

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